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Home Inspection Report

Prepared For:

L and C Spitters

Property Address:

38201 JONES ROAD (house)

Mission, BC V0M1H0

Inspected on Tue, Apr 23 2024 at 12:00

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Thank you for choosing I Find It Inspections to conduct your home inspection. We understand that the function of this report is to assist you in understanding the condition of the property to assist in making an informed purchase decision and to educate you on some of the major systems in your home.

The report contains a review of readily visible components in the following basic categories: site, exterior, roofing, structure, electrical, HVAC, plumbing, and interior. Additional categories may or may not be included. The report is designed to be easy to read and comprehend however it is important to read the entire report, contract terms, standards of practice, and other information in your Home Owners Maintenance Manual or visit Ifinditinspections.ca to obtain a full understanding of the scope, limitations and exclusions of a visual home inspection. We Strongly Recommend That ALL Recommendations and Deficiencies Be Repaired Immediately To Prevent Any Risk Of Further Damage.

Comments with the blue round icon are primarily informational and comments with the orange triangle icon require additional attention. Please read all the comments in the report. Buyers are also advised to carefully read the Property Condition Disclosure Statement and obtain engineering reports, written confirmation, or receipts for any major repairs done to the property.

DEFINITION OF CONDITION TERMS

Functional/Satisfactory: At the time of inspection the component appears to be adequately performing its intended function. Regular maintenance will be required and may be needed now.

Maintenance Required: At the time of inspection the component is functioning but is estimated to be nearing end of useful life or requires immediate maintenance. Regular monitoring of the component may be required.

Poor/Unsatisfactory: At the time of inspection the component does not function as intended, has reached the end of its intended service life, or presents a Safety Hazard. Repair or replacement is recommended.

Not Visible: This is a visual inspection. In some cases visibility is not available of components required for inspection as per the standards of practice.

Monitor Performance: The component may be demonstrating unusual behavior or

may be inconclusive at the time of inspection. Inspector suggests further monitoring of component performance by client and further evaluation and repairs by experts as needed.

Further Evaluation: The component requires further technical or invasive evaluation by qualified professional tradesman or service technician to determine the nature of any potential defect, the corrective action and any associated cost.

Report Summary

Site

1) Downspouts have been disconnected from its drainage leaders. I cannot confirm if this is due to a failed perimeter drainage or intentional.

Inquire with current owner regarding working conditions to the perimeter drainage of this home. Scoping is recommended by a drainage technician to determine any defects or failure and needed repairs. This is important to prevent a wet basement or hydrostatic pressure against the foundation wall.

Scoping and hydroflushing is also needed as part of regular maintenance. At a minimum, this should be performed once every decade. Maintenance required.

Roofing

2) There is soot build up noted seeping out from the bottom of the metal chimney for the wood fired stove in the basement. This is a potential fire hazard that needs maintenance by a chimney sweep.

3) Extensive creases and denting are observed on the garage addition metal roof. These areas are vulnerable to cracking. Creases and damage on the material are vulnerable to cracking from expansion and contraction. The vent stack flashing is also missing a cap.

I recommend further evaluation by a roofing contractor to determine the extent of mechanical damage to the roofing material. Anticipate repairs or replacements in order to prevent any potential roof leaks or premature failure.

4) Modified bitumen roofing for the main house is at or nearing the end of its service life. There is extensive alligatoring throughout the surface of the material typical with its age. The abandoned chimney in the mechanical room is also missing a rain cap and is vulnerable to water ingress.

Further evaluation is needed by a roofing contractor for isolated repairs and maintenance. Have assessed for remaining life service left and budget for replacements.

(Report Summary continued)

Exterior

5) Aluminum siding material and corner caps are damaged/missing at several locations. Repairs are needed to prevent water ingress and hidden water damage. Have repaired by a siding contractor.

6) Routine maintenance includes keeping exterior air intake vent and dryer vents cleaned.

Located on the outside and around of the house.

Exterior: Deck

7) Siding material, deck flooring, and light fixture are missing. Have installed.

Location: rear deck

8) Heavy rust damage noted on the deck roof is vulnerable to roof leaks. Further assessment is needed by a roofing contractor for repairs or replacements.

Garage

9) There are rodent droppings observed in the garage. Set traps as a precautionary measure and seal all gaps and penetrations from the exterior. Alternatively, consult a pest exterminator for remediation.

Doors & Windows

10) The windows around the home have failed seals, cracking, and mechanical damage observed. The front door is also damaged.

Materials for replacements were observed in the barn. Anticipate repairs and replacements.

Interior

11) Basement stairs is missing hand rails and guard rails. This is a fall hazard that needs improvement to prevent an accident.

(Report Summary continued)

Kitchen: Appliances

12) Missing hood fan for the main kitchen needs repairs. This is also missing for the basement kitchen.

Bathrooms: Bathroom #1

13) Construction in this bathroom requires finishing.

The heat register has been covered with insulation, the bathroom fan is missing a cover, and the shower stall is unfinished. Anticipate repairs.

Drywall also requires finishing and paint.

Location: basement

Electrical

14) Incorrect three way switch installation is noted in the second floor hallway. This is potentially due to incorrect wiring installation. This light fixture should be able to turn on at either location. Have further assessed by an electrician for repairs.

Electrical: Sub Panel

15) Incorrect size wire observed for the 100 amp and 40 amp breaker in the basement sub panel. Further evaluation is needed by an electrician for repairs. This is a safety concern that needs repairs to prevent a fire hazard.

Plumbing

16) Foul smell observed in the basement. I cannot confirm if this is due to an issue with the septic or sewer drainage. Further evaluation is needed by a plumber for troubleshooting and potential repairs.

17) Water pressure for the house at several locations are low. This could be due to a supply issue. Further evaluation is needed by a plumber for troubleshooting and repairs.

(Report Summary continued)

Structure: Attic

18) Attic hatch was undersized (12 inches of opening) and inaccessible due to the closet shelving blocking access. Due to this, the attic was not able to be entered.

I recommend improving the opening and removing shelving that is blocking the hatch for easier access. This is needed in order to inspect the condition of the attic space. This was a limitation to the inspection.

General

Property Type:	House
Stories:	Two
Approximate Age:	1978 (46 yrs old)
Age Based On:	Listing
Bedrooms/Baths:	6/2
Door Faces:	South
Furnished:	Yes
Occupied:	Yes
Weather at Start of Inspection:	Sunny
Temperature:	19°C
Soil Condition:	Dry
Utilities On During Inspection:	Electric Service, Water Service, Propane Service
People Present:	Client

Site

A visual assessment of the property with respect to vegetation, grading, fencing, surface drainage, and retaining walls primarily for their impact on the main building. Also included are adjacent walkways, uncovered patios, and driveways.

Property Slope:	Property - Flat
Property Drainage:	Inspector cannot adequately determine if property slopes surface water from structures. Monitor in rains and improve as needed.
Visible Building/Perimeter Drainage:	Downspouts - Disconnected from Underground System (possible issues with underground system), Drainage System - Big 'O' Condition: Further Evaluation Required
Downspout Connections:	Re-Connect to Drains Condition: Have Repaired By Qualified Individual
Driveway:	Gravel
Walkways:	Concrete , Cracks, Settlement, Heaves, Trip Hazard Condition: Monitor Performance and Improve as Needed
Vegetation:	Not Growing Against Structure
Steps/Stoops:	Concrete, Wood

(Site continued)

Patios/Decks: Wood



Comment 1:

Downspouts have been disconnected from its drainage leaders. I cannot confirm if this is due to a failed perimeter drainage or intentional.

Inquire with current owner regarding working conditions to the perimeter drainage of this home. Scoping is recommended by a drainage technician to determine any defects or failure and needed repairs. This is important to prevent a wet basement or hydrostatic pressure against the foundation wall.

Scoping and hydroflushing is also needed as part of regular maintenance. At a minimum, this should be performed once every decade. Maintenance required.



Figure 1-1



Figure 1-2

(Site continued)

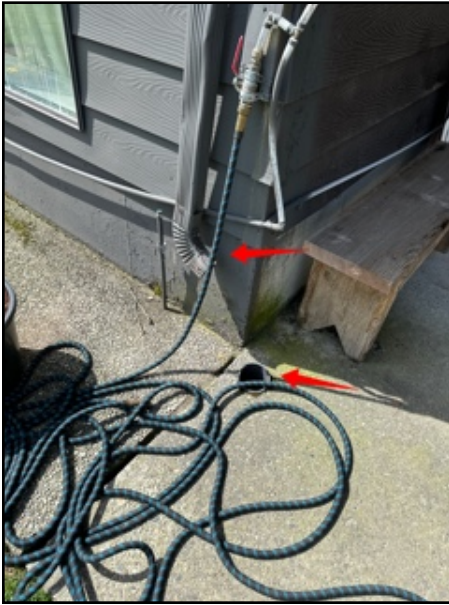


Figure 1-3



Figure 1-4



Comment 2:

Heaving and settlement are noted on concrete walkway at the rear. Monitor for further shifting and repair as needed.



Figure 2-1

(Site continued)



Comment 3:

Cracking on driveway/sidewalk is typical with settlement and age. Patching/repairs is recommended to prevent water entry, freezing and further shifting or settling.



Figure 3-1



Figure 3-2



Comment 4:

The concrete retaining wall on the east side has cracking observed and minor leaning. Anticipate repairs.



Figure 4-1



Figure 4-2

(Site continued)

Underground portions of drains are not visible or tested in this home inspection. For a further review of this hidden system, consult a plumber on scope options available. Cleaning of drainage systems is advised now and regularly in the future. Geotechnical and site stability issues are not addressed in this inspection. Grading that slopes towards buildings increases risk of water damage, monitor performance during rains.

Roofing

The roofing system is inspected visually by observing the installed materials, building practices, and readily visible conditions observable from a safe position for the inspector. The purpose of the inspection is to determine general condition, not to determine life expectancy.

Inspection Method:	Drone
Roof Design and Slope:	Gable, Slope - Medium Slope
Roof Overhangs:	Building has marginal roof overhangs which are an important part of good house design to keep water off walls and building penetrations.
Roof Covering:	Modified Bitumen
Roof Lifespan:	Normal Service Life - 20-25 Years, Product Stage in Life Cycle - Near End of Life Expectancy, Have reviewed by a Licenced roofing contractor for an estimate on life expectancy.
Underlayment:	Not visible
Flashing And Valleys:	Flashing - Plumbing Vents, Flashing - Chimneys, Flashing - Roof Edges, Flashing - Same material as roof, Flashing - Plastic or integrated into components, Flashing - Painted Metal, Flashing - Unpainted metal
Gutters & Downspouts:	Material - Integrated
General:	Recommend further analysis by a licensed roofing contractor. , Roof appears to be nearing the end of its life. Budget for replacement.
Ventilation Present:	Roof, Soffit, Inspection limited by roof access (see roofing section for details on limitation)

(Roofing continued)

Vent Stacks:

Plastic Pipe, Metal Flashings, Inspection limited by roof access (see roofing section for details on limitation)



Comment 5:

There are sections of the roof line that are missing gutters. This has resulted in soil damage at the rear. Have repaired by a gutter technician.



Figure 5-1



Figure 5-2



Comment 6:

There is soot build up noted seeping out from the bottom of the metal chimney for the wood fired stove in the basement. This is a potential fire hazard that needs maintenance by a chimney sweep.

(Roofing continued)



Figure 6-1



Figure 6-2



Comment 7:

Downspouts discharging on lower roof surfaces will shorten the life of the roof product in this area. Recommend extending the downspout to lower gutters or directly to ground level.



Figure 7-1



Figure 7-2

(Roofing continued)



Comment 8:

Roofing material and gutter has a bulge at one section of the garage roof line. Further evaluation is needed by a roofing contractor to assess if repairs are needed.



Figure 8-1



Comment 9:

Extensive creases and denting are observed on the garage addition metal roof. These areas are vulnerable to cracking. Creases and damage on the material are vulnerable to cracking from expansion and contraction. The vent stack flashing is also missing a cap.

I recommend further evaluation by a roofing contractor to determine the extent of mechanical damage to the roofing material. Anticipate repairs or replacements in order to prevent any potential roof leaks or premature failure.

(Roofing continued)



Figure 9-1



Figure 9-2



Figure 9-3



Figure 9-4



Figure 9-5



Figure 9-6

(Roofing continued)



Figure 9-7



Figure 9-8



Figure 9-9



Figure 9-10



Comment 10:

Modified bitumen roofing for the main house is at or nearing the end of its service life. There is extensive alligating throughout the surface of the material typical with its age. The abandoned chimney in the mechanical room is also missing a rain cap and is vulnerable to water ingress.

Further evaluation is needed by a roofing contractor for isolated repairs and maintenance. Have assessed for remaining life service left and budget for replacements.

(Roofing continued)



Figure 10-1



Figure 10-2



Figure 10-3



Figure 10-4



Figure 10-5



Figure 10-6

(Roofing continued)



Figure 10-7



Figure 10-8

Roofs can leak unpredictably. Inspector cannot and does not guarantee as to if the roof has leaked in the past, leaks now, or may leak in the future. Flashings should be replaced whenever roof material is replaced. Annual caulking and maintenance is recommended. Visual inspection is based on a sample of roofing material. Adequate drainage of gutters, roof drains, and downspouts is difficult to inspect in dry weather or light rains. Gutters and downspouts should direct water at least 6-feet away from walls and foundations.

Exterior

The exterior is inspected visually by observing the installed materials, building practices, and readily visible conditions from ground level. Damages concealed by exterior finishes (hidden damages) may still be present.

Primary Exterior Surface:	Vented Cladding style siding materials are ok for our climate when well maintained, Material - Aluminum Siding, Sections of damaged siding will allow water to penetrate system Condition: Have Repaired By Qualified Individual
General Exterior:	Maintain 6-8" of ground clearance from siding and framing, Seal all openings/holes in siding
Soffits:	Material - Metal/Vinyl, With vents or screens, Seal holes to prevent vermin access. Condition: Maintenance Required

(Exterior continued)

Fascia/Gable Trim: Material - Wood, Minor Maintenance Required
Exterior Trim Material: Material - Wood, Minor Maintenance Required



Comment 11:

Ongoing maintenance to the exterior trim and window includes repainting the wood every 8-10 yrs and caulking renewal every 3-5 yrs. This is important to minimize rot damage and prevent water seepage. Maintenance required.

Sections of rot damage observed on the gable and fascia will require isolated replacements.



Figure 11-1



Figure 11-2

(Exterior continued)



Figure 11-3



Figure 11-4



Comment 12:

Aluminum siding material and corner caps are damaged/missing at several locations. Repairs are needed to prevent water ingress and hidden water damage. Have repaired by a siding contractor.



Figure 12-1



Figure 12-2

(Exterior continued)



Figure 12-3



Figure 12-4



Figure 12-5



Figure 12-6

(Exterior continued)



Figure 12-7



Figure 12-8



Comment 13:

Routine maintenance includes keeping exterior air intake vent and dryer vents cleaned.

Located on the outside and around of the house.



Figure 13-1



Figure 13-2

(Exterior continued)



Comment 14:
Propane tank observations.

Propane tank reservoirs need to be recertified following their manufacturing date every 5-10 yrs.

For added safety, consider securing this tanks to the ground for seismic stability.



Figure 14-1



Figure 14-2



Figure 14-3

(Exterior continued)

i **Comment 15:**
Install a vent screen cover on furnace exhaust pipe to prevent vermin entry.



Figure 15-1

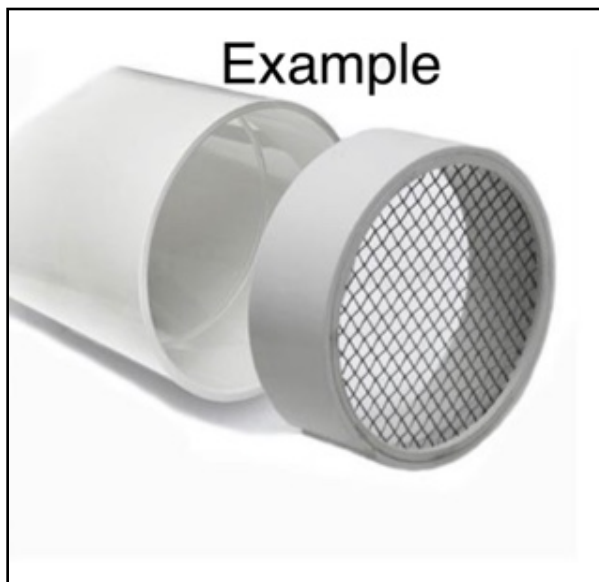


Figure 15-2

Wind driven rain are a major cause of water damage, monitor all penetrations to the exterior for water leakage regularly (e.g. windows, doors, changes in material). 6-8 inches of clearance should always be maintained between siding and framing and ground/soil level. Guard rails and handrails should be 31-38 inches high on stairs and 42 inches high at landings. Railings should have vertical rails only with gaps no wider than 4 inches for child safety.

Deck

Structure:	Material - Wood
Flooring:	Material - Missing Condition: Have Repaired By Qualified Individual
Guardrails:	Material - Wood, Guardrail height, gaps, and structure appear solid
Stairs:	Stair Structure - Wood, Stair Surface - Wood, With Handrails Condition: Maintenance Required

(Deck continued)

Roof:

Roof part of main building roof (see main roofing comments)



Comment 16:
Deck observations.



Figure 16-1

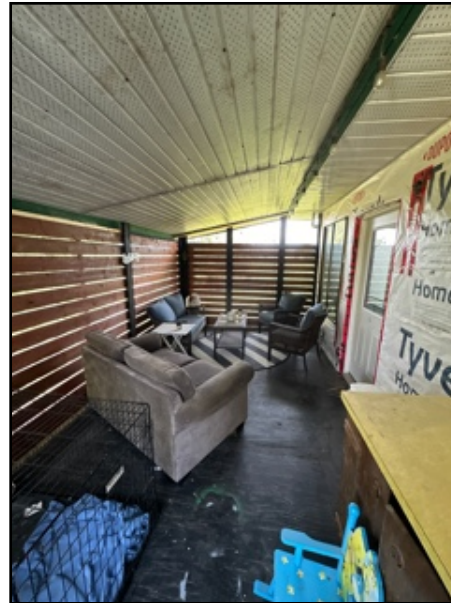


Figure 16-2



Comment 17:
Deck posts are missing poured in place footings that extend to the frost line.

Improper footings are prone to settling/heaving during the winter time. I recommend further assessment by a general contractor for risk assessment and needed improvements for structural stability.

(Deck continued)



Figure 17-1



Figure 17-2



Figure 17-3



Figure 17-4

(Deck continued)



Comment 18:

The deck stair treads have splitting noted and are deflecting. Consider repairs and isolated replacements to prevent a fall hazard.



Figure 18-1



Comment 19:

Siding material, deck flooring, and light fixture are missing. Have installed.

Location: rear deck

(Deck continued)



Figure 19-1



Figure 19-2



Comment 20:

Heavy rust damage noted on the deck roof is vulnerable to roof leaks. Further assessment is needed by a roofing contractor for repairs or replacements.



Figure 20-1

Garage

Garage Type:	Type - Attached, Double Car, Outlets without GFCI, Overhead Lighting
Door Opener #1:	Manual Opening, Manual Door Operation Tested Ok
Door Opener #2:	Damaged door needs replacements
House Door:	Solid Wood, Provide or adjust Auto Closer
Air-Tight Separation:	Interior Unfinished
Details:	Normal concrete shrinkage cracks in garage floor slab, Regular lubrication of moving parts recommended



Comment 21:
Garage observations.

Garage doors are manual operated.

Denting noted on door panels. Loose rollers are also noted which need repairs.

West door is not able to open due to broken rollers. Anticipate repairs.



Figure 21-1



Figure 21-2

(Garage continued)



Figure 21-3



Comment 22:

There is water staining observed on the addition garage sheathing at several locations. I cannot confirm if this is still an active leak. Further evaluation is needed by a roofing contractor to ensure that this is not due to an active leak.



Figure 22-1



Figure 22-2

(Garage continued)

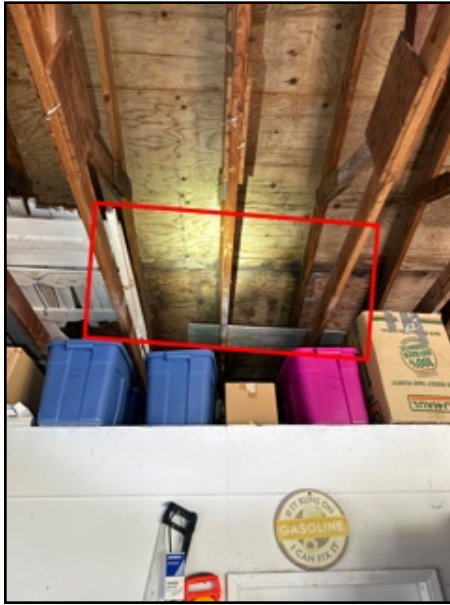


Figure 22-3



Comment 23:

There are rodent droppings observed in the garage. Set traps as a precautionary measure and seal all gaps and penetrations from the exterior. Alternatively, consult a pest exterminator for remediation.



Figure 23-1



Figure 23-2

Remote control devices are not tested. This visual inspection cannot confirm

(Garage continued)

compliance to fire code for air tightness and fire ratings. Comments for attached garage structure, roofing, and exterior are included in main home comments.

Doors & Windows



Comment 24:

The windows around the home have failed seals, cracking, and mechanical damage observed. The front door is also damaged.

Materials for replacements were observed in the barn. Anticipate repairs and replacements.



Figure 24-1



Figure 24-2

(Doors & Windows continued)



Figure 24-3



Figure 24-4



Figure 24-5



Figure 24-6

(Doors & Windows continued)



Figure 24-7



Figure 24-8


 Comment 25:
Moisture test for leaky windows at all areas resulted in dry meter reading.



Figure 25-1

All doors and windows create penetrations in the wall systems which can allow water in behind. This visual inspection cannot identify if hidden damages are present. Monitor performance regularly. Window performance in report is based on a sample of actual windows tested.

(Doors & Windows continued)

Door - Main Entry

Identification: Style - Single Door, Material - Wood Solid Core, Deadbolt with Thumb Knob
Condition: Have Repaired By Qualified Individual

Testing: Operation - Minor Binding of door closing, Latch - Door correctly latched and releases, Deadbolt - Deadbolt operates correctly , Weather Stripping - Minor Improvement needed

Door #2

Location: Rear

Identification: Style - Sliding, Material - Aluminum and Glass

Testing: Operation - Minor Binding of door closing, Latch - Door correctly latched and releases, Weather Stripping - Minor Improvement needed

Interior

Interior inspections are limited to readily accessible areas that are not concealed by furnishings or stored items. A representative sample of windows and doors are checked. Obtain a history of all water damage and stains from previous occupants.

Walls: Material - Gypsum Wallboard, Finish - Paint, Normal hairline cracking

Ceilings: Design - Flat, Material - Gypsum Wallboard, Normal hairline cracks

Floors: Material - Carpet, Material - vinyl/linoleum, Material - Laminate, Material - Ceramic/Stone/Marble

(Interior continued)



Comment 26:

Older homes have the possibility of containing asbestos in building materials. Any areas in question like the drywall, ceiling tiles, floor tiles, or other areas of concern should be tested by the potential buyer if they are concerned with it. This is only a concern when doing renovations where building materials will be disturbed.



Comment 27:

Basement stairs is missing hand rails and guard rails. This is a fall hazard that needs improvement to prevent an accident.



Figure 27-1



Comment 28:

No moisture levels recorded on water damaged drywall in the basement kitchen. It is recommended to contact current owner on further information on possible repairs made.

(Interior continued)



Figure 28-1



Figure 28-2



Figure 28-3

(Interior continued)



-  Comment 29:
Sample testing for moisture around basement was negative for moisture.



Figure 29-1

-
-  Comment 30:
Organic growth around the windows is a sign of high humidity and moisture. Running exhaust fans while showering and cooking is advised. Clean organic growth off windows and control moisture in home. Further evaluation is needed if organic growth returns.

Ensure to also open window blinds to allow for air circulation in this space.

(Interior continued)



Figure 30-1



Comment 31:

Areas of unfinished construction are observed at several locations in the basement and main floor. Anticipate repairs.



Figure 31-1

Normal hairline cracks may be due to seasonal movement of framing and minor settlement. Excessive cracks could indicate more serious movement and should be

(Interior continued)

investigated by a specialist. Wall cavities are not inspected. Recessed lights may not be approved for use with insulation. Inspectors cannot confirm compliance with fire codes. Normal wear and tear and cosmetic damages are not covered in this inspection.

Stairs #1

Location:	Main Stairs
Details:	Material - Carpeted, Handrails & Guardrails - Appear correctly configured and in good shape , Lighting - Missing 3-way switches at top or bottom which is a safety hazard , Rise & Run - Rise and run of stairs appears to be consistent and safe

Fireplace #1

Location:	Basement
Fuel Source:	Wood
Design Type:	Wood Free Standing Stove
Heat Transfer System:	Passive Heat Transfer
Ignition Source:	Manual Ignition
Primary Operator Control:	Manual Operation Required
Venting Location:	Roof Vent
Inspection:	WETT Review - This inspection does not include wood burning or gas converted wood burning fireplaces and chimneys as BC law requires a WETT inspector for these devices.

(Fireplace #1 continued)



Comment 32:

Woodstoves are out of the scope of a home inspection. Although this one does appear to be in useable condition for safety reasons have it inspected by a certified fireplace inspector for safety and proper operation.

Damaged tiles for the stove hearth will need to be repaired. The door is also missing a seal.



Figure 32-1



Figure 32-2



Figure 32-3



Figure 32-4

(Fireplace #1 continued)

All fireplace equipment should be serviced every two years up to 10 years of age then annually thereafter. Confirm last service date or have serviced before operation. Inspector cannot confirm installation compliance with manufacturer specifications.

Interior Doors

Identification: Material - Wood, Style - Single Doors

Closets

Identification: Door Material - Wood, Style - Bi-Fold Doors
Condition: Have Repaired By Qualified Individual

Kitchen

Cabinets: Material - Wood
Countertops: Laminated, View of counter partially restricted due to items placed on top.
Floor Covering: Material - Vinyl/Linolium
Sink: Double Sink, Material - Stainless Steel, With sprayer tested functional
Electrical: 15-amp grounded outlets

(Kitchen continued)



Comment 33:
Basement kitchen countertops need repairs.



Figure 33-1

Appliances

Appliances are inspected for basic response to normal operator controls. The accuracy or operation of timers, temperature, cleaning power, wash cycles, heat, or power levels is beyond the scope of this visual home inspection.

Dishwasher:	Appears to correctly run through wash cycle Condition: No Deficiencies Noted
Range:	Frigidaire, Fuel - Electric, Cooktop elements/burners respond to operator controls, Bake and broil functions respond to operator controls Condition: No Deficiencies Noted
Refrigerator:	LG, Freezer appears to be operating below freezing, Refrigerator appears to be maintaining cool temperature Condition: No Deficiencies Noted
Range Hood:	Missing Condition: Have Repaired By Qualified Individual

(Appliances continued)



Comment 34:

Basement kitchen appliances were not tested due to them not being hooked up. This was a limitation to the inspection.



Figure 34-1



Comment 35:

Basement kitchen appliances that were currently functioning is only the fridge. Overall serviceable condition.



Figure 35-1

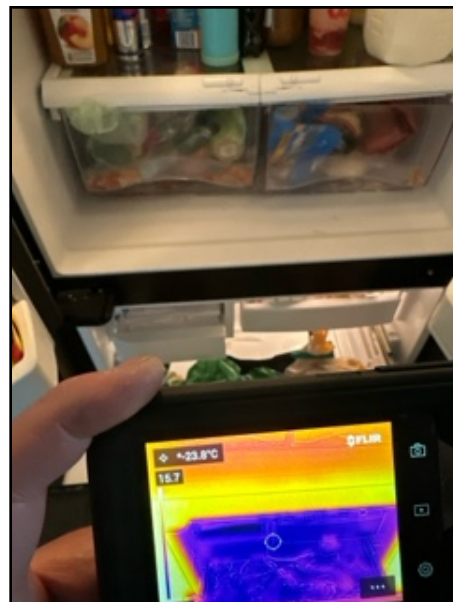


Figure 35-2

(Appliances continued)



Figure 35-3



Comment 36:

Verification photos of main kitchen appliances currently working during the inspection. All appliances in the home should be monitored for unforeseeable leaks while they are in use for the first time upon possession.



Figure 36-1



Figure 36-2

(Appliances continued)



Figure 36-3



Figure 36-4



Figure 36-5



Figure 36-6

(Appliances continued)



Figure 36-7



Figure 36-8



Figure 36-9

(Appliances continued)



Comment 37:

Missing hood fan for the main kitchen needs repairs. This is also missing for the basement kitchen.



Figure 37-1

Bathrooms



Comment 38:

Routine maintenance to the bathrooms include sealing the grout between the tiles with grout sealant and caulking around the penetrations (faucets, tiles, shower pans, backsplashes) to prevent hidden water damage.

(Bathrooms continued)



Figure 38-1

This visual inspection cannot determine conclusively the presence of or amount of damage that may be present due to hidden water penetration.

Bathroom #1

Location:	Basement
Sink(s) and Faucet(s):	Style - Single Vanity, Sink - Appears in good condition and well attached, Faucet - Appears to operate correctly, Drain - Stopper tests ok
Cabinets & Countertop:	Cabinet - Functional Condition, Countertop - Appropriate material and functional
Toilet:	Tested ok, Toilet Secure to Floor
Bath Tub and Faucet:	Tub Material - Plastic, Style - Soaker, Shower - Tub with Shower, Faucet - Appears to operate correctly, Drain - Stopper tests ok
Tub Surround:	Material - Plastic/fiberglass, Door/Curtain - Shower Rod
Electrical:	Lighting - Present and Tests ok, Outlet - GFCI outlet which tests ok

(Bathroom #1 continued)

Ventilation:

Method - Exhaust fan, Exhaust fan - Air movement could not be tested due to accessibility or missing materials

Heating:

Heat Source - Not visible (may not be required on rooms without exterior walls)

Walls, Ceilings, & Floors:

Condition: Further Evaluation Required

Walls, ceilings, and floors appear appropriate and in good condition , Wall Finish - Paint, Ceiling Finish - Paint, Floor Material - Linoleum or Vinyl



Comment 39:

Basement bathroom observations.



Figure 39-1



Figure 39-2

(Bathroom #1 continued)



Figure 39-3



Figure 39-4



Figure 39-5



Figure 39-6

(Bathroom #1 continued)



Comment 40:

Construction in this bathroom requires finishing.

The heat register has been covered with insulation, the bathroom fan is missing a cover, and the shower stall is unfinished. Anticipate repairs.

Drywall also requires finishing and paint.

Location: basement



Figure 40-1

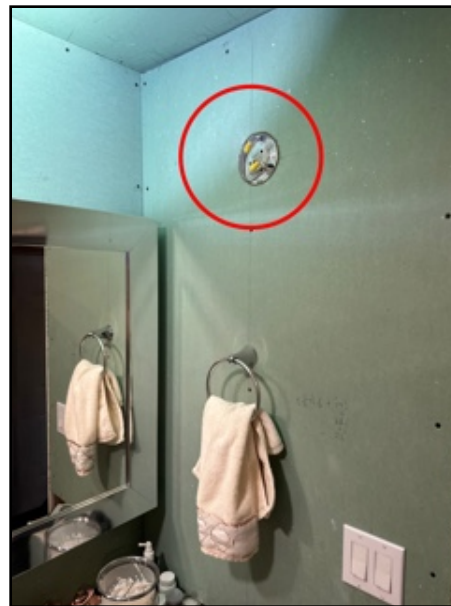


Figure 40-2

(Bathroom #1 continued)



Figure 40-3



Figure 40-4



Comment 41:

Caulking missing on the tub seams. Have installed to prevent water seepage.



Figure 41-1

(Bathrooms continued)

Bathroom #2

Location:	Second Level, Hallway
Sink(s) and Faucet(s):	Style - Single Vanity, Sink - Appears in good condition and well attached, Faucet - Appears to operate correctly, Drain - Stopper missing
Cabinets & Countertop:	Cabinet - Functional Condition
Toilet:	Tested ok, Toilet Secure to Floor
Bath Tub and Faucet:	Tub Material - Plastic, Style - Soaker, Shower - Tub with Shower, Faucet - Appears to operate correctly, Drain - Stopper tests ok
Tub Surround:	Material - Ceramic/Stone/Marble/Similar, Door/Curtain - Shower Rod, Caulking deteriorated and needs improvement to prevent hidden water damage
Electrical:	Lighting - Present and Tests ok, Outlet - GFCI outlet which tests ok
Ventilation:	Method - Exhaust fan, Exhaust fan - Air movement tests ok
Heating:	Heat source - Forced Air Vent, Operation - Heat source appears to be operating correctly
Walls, Ceilings, & Floors:	Walls, ceilings, and floors appear appropriate and in good condition , Wall Finish - Paint, Ceiling Finish - Paint, Floor Material - Ceramic/stone/similar

(Bathroom #2 continued)



Comment 42:
Second floor bathroom observations.



Figure 42-1



Figure 42-2



Figure 42-3



Figure 42-4

(Bathroom #2 continued)



Figure 42-5

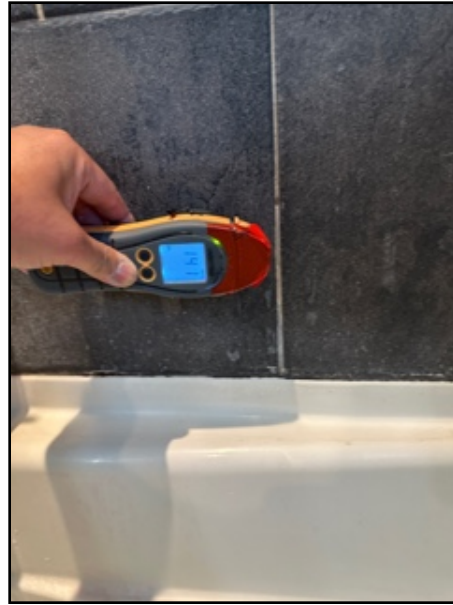


Figure 42-6



Comment 43:

Jacuzzi tub in the second floor hallway bathroom was not able to be tested due to a low water pressure for the tub filler and time constraints. Verify working conditions with current owner as needed.



Figure 43-1

(Bathroom #2 continued)



Comment 44:

Caulking renewal is due around tub surround and tile corners. This is needed for a watertight seal. Have repaired. This is part of ongoing regular maintenance to prevent moisture seepage.



Figure 44-1

Laundry



Comment 45:

Laundry room observations.

We recommend replacing rubber hot and cold hoses on wash machine with steel braided hoses to prevent risk of leaking over the long term. Water hammer arrestors are also missing for the washer supplies. Upgrade dryer ducting to more suitable material.

Monitor washer and dryer upon move-in for leaks or other deficiencies that could occur after the inspection.

(Laundry continued)



Figure 45-1



Figure 45-2

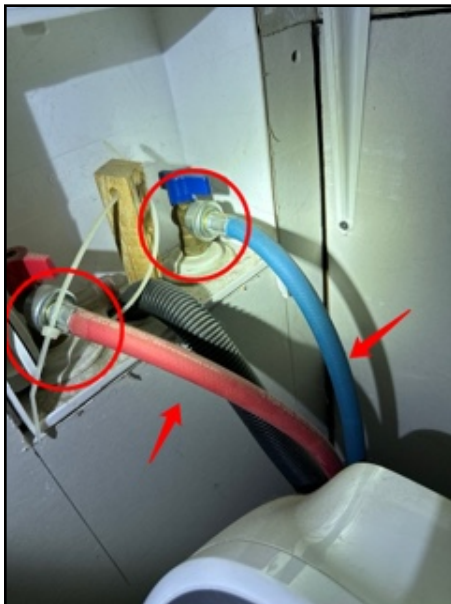


Figure 45-3



Figure 45-4

(Laundry continued)

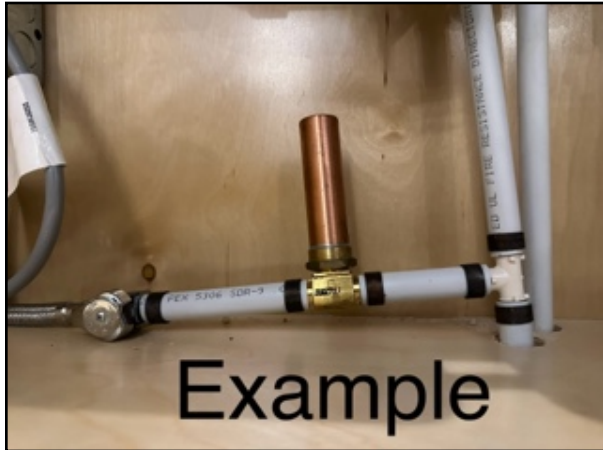


Figure 45-5



Figure 45-6



Figure 45-7



Comment 46:

Upstairs laundry appliances working observations.

Water hammer arrestors are missing for the washer supplies. Dryer ducting should be upgraded with more suitable material.

(Laundry continued)



Figure 46-1



Figure 46-2

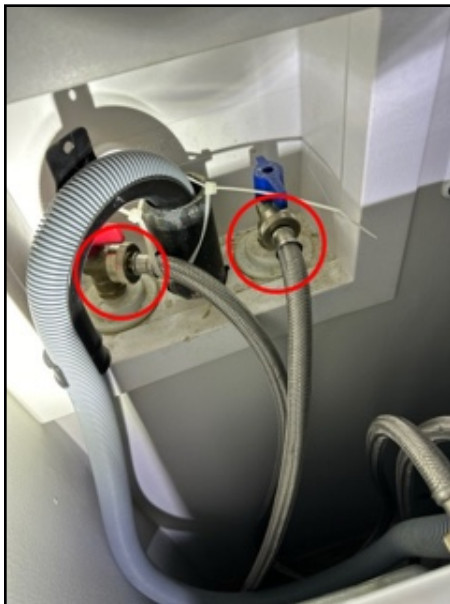


Figure 46-3



Figure 46-4

Washing machines and clothes dryers should be monitored during the your first usage. Stainless steel water supply pipes should be installed on washing machine. Dryer vents should be properly connected and lint trap and vent pipe cleaned before use. We cannot always confirm what happens at the end of an inspection until you take possession. This is general home maintenance and good housekeeper.

Heating, Ventilation, Air Conditioning (HVAC)



Comment 47:

Thermal scan has been completed at the end of this inspection on the windows, heating, ceilings, walls, and plumbing areas (bathrooms, kitchen, laundry). No leaks observed at time of inspection.



Figure 47-1

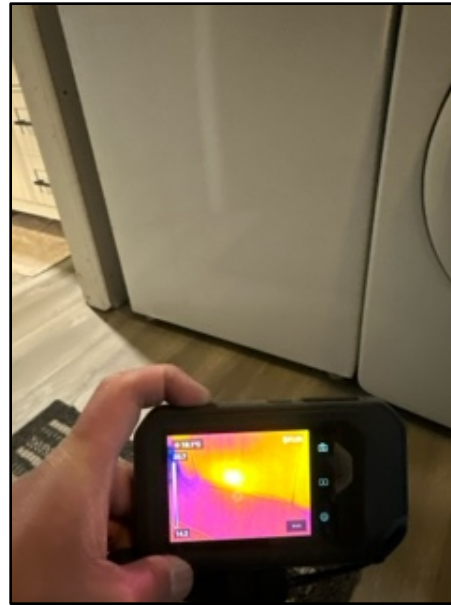


Figure 47-2



Figure 47-3



Figure 47-4

(Heating, Ventilation, Air Conditioning (HVAC) continued)

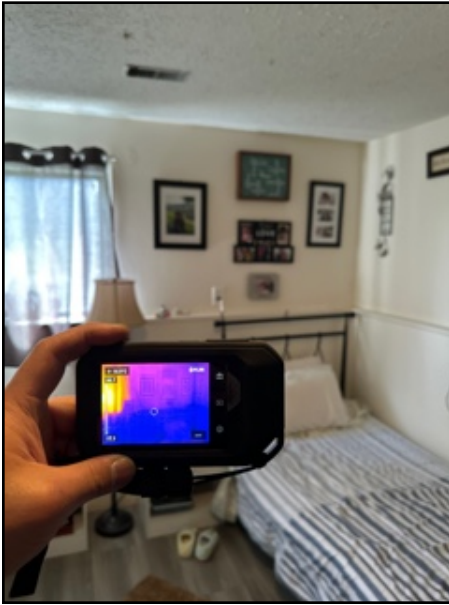


Figure 47-5



Figure 47-6

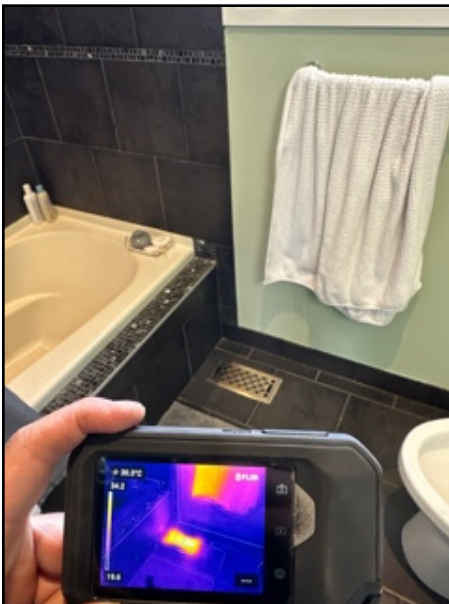


Figure 47-7



Figure 47-8


Furnace

Installed Equipment:
Efficiency Class:
BTU Output:
Estimated Age:

Ameristar
High Efficiency
97400
2019

(Furnace continued)

Ignition:	Electronic Ignition
Lifecycle Stage:	Expected Service Life - Approx 20 Years, Stage in Life Cycle - New or near New
Servicing Schedule:	Near New - This unit is new or near new and does not typically require service at this time. Enquire with the seller about any available warranties and service recommendations. Change the filter at least every 4 weeks through the operating season. When equipment is 10 years of age, have serviced semi-annually.
General:	Fuel - Natural Gas, Type - Upflow
Fuel Lines:	Material - Black Iron
Controls:	Only normal operator controls tested in this inspection, Thermostat
Valves:	Appliance gas shutoff valve
Blower Fan:	Blower - Fan appears to operate correctly
Filter:	Filter - Correct filter apparently in place, Filter Size - 16x25x1
Combustion Air Supply:	No air intake visible
Exposed Flue:	Material - plastic
Distribution Air Ducts:	Material - Metal, Ductwork partially/fully hidden
Air Return/Supply Ducts:	Material - Metal, Inspector cannot confirm appropriate air movement to all rooms

 Comment 48:
Furnace observations. Age 2019 (5 years old). Filter Size 16x25x1. Replace immediately then, every 3 months in heating season.

(Furnace continued)



Figure 48-1



Figure 48-2

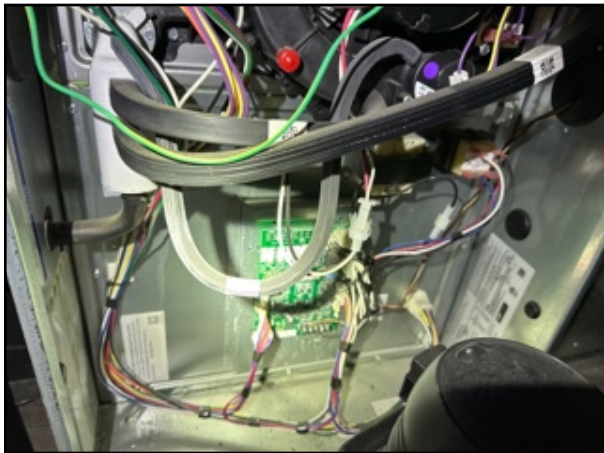


Figure 48-3



Figure 48-4

(Furnace continued)

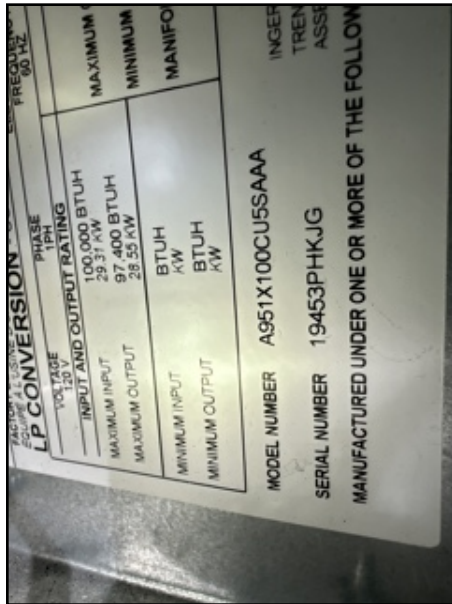


Figure 48-5



Comment 49:

Neutralizing trap is not visible for the condensate drain line. This is needed to prevent discharging acidic condensate in the plumbing drains that may result in premature deterioration to the materials. Consult an HVAC technician for repairs.

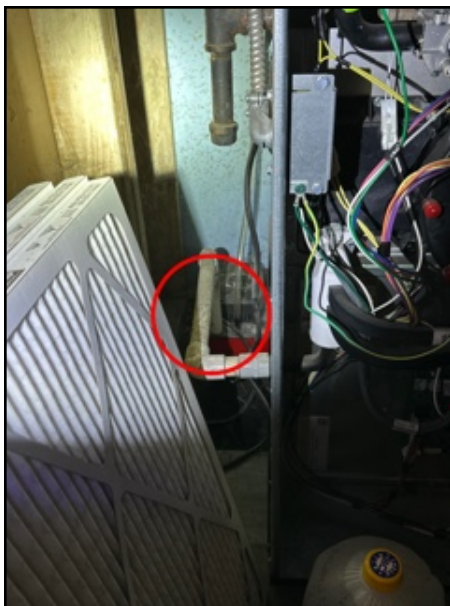


Figure 49-1



Figure 49-2

Furnace air movement based on a sample of air vents. Inspector confirms

(Furnace continued)

correct operation of furnace but cannot confirm adequate air flow or heat distribution to all rooms.

Electrical

The inspector is limited to the visible portions of the electrical system. A representative number of outlets, switches, and fixtures are tested for operation. The inspector cannot confirm compliance to any codes. GFCIs are an effective protection against electrical shock.

Main Disconnect Location:	Main Electrical Panel Breakers
Utility Service:	Underground Lines, 120/240 Volt, 200 Amp Service, Household amp service based on main breakers/breakers
Main Panel And Service Connections:	Location - garage, Service cable material not visible , Main Power On at time of inspection, Main Disconnect - Breakers
Main Grounding:	Grounding System - Not Visible, Panel connection not visible
Distribution Panel:	Overload protection - Breakers
Circuit Wiring:	Occupants belongings restrict testing of some outlets/switches, Sample of outlets and switches responding to normal operator use, Grounded Circuits, Wire type - Copper, Wire Type - braided/stranded aluminum, Cabling - Non-Metallic Sheathing
Sample Circuit Testing:	Occupants belongings restrict testing of some outlets/switches, Sample of outlets and switches responding to normal operator use, Grounded Circuits, Wire type - Copper, Wire Type - braided/stranded aluminum, Cabling - Non-Metallic Sheathing
Sample Lighting Testing:	Type - Overhead Lighting, Type - Wall plugs for occupant lamps (inspector cannot confirm correlating plugs and switches due to time constraints and typical occupant belongings), No deficiencies identified in sample testing.
Ceiling Fans:	Operates according to operator controls

(Electrical continued)

Outlets:	Outlets grounded type (3-hole), Cover plates missing
Ground Fault Protection:	GFCI Outlet(s)/breaker(s) in bathrooms, GFCI Outlet(s)/breaker(s) at exterior
Smoke Detectors:	Smoke detectors appear past their service life of 10-years. Replacement is required for life and fire safety. , Plan to install Carbon Monoxide detector near bedrooms


 Comment 50:
50 amp GFCI protected outlet noted on the west side for an RV hook up.



Figure 50-1

 Comment 51:

(Electrical continued)

Electrical panel observations located in garage.
200 Amps service.
Copper branch wiring.

Breakers need to be labelled to identify which circuits they operate.

Knockout cover is missing in the main electrical panel. This is needed to prevent someone from sticking their fingers or a tool inside the panel and being electrocuted. Have knockout cover installed.



Figure 51-1



Figure 51-2

(Electrical continued)



Figure 51-3



Figure 51-4



Comment 52:

Possible lightbulb burnt out/missing or incorrect three way switch installation. Have further assessed by an electrician for troubleshooting and repairs.

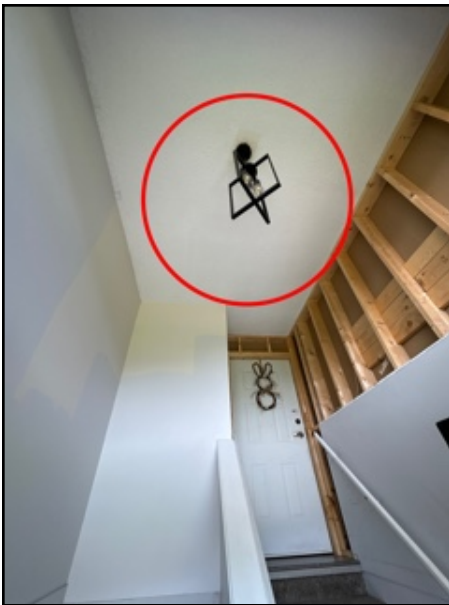


Figure 52-1



Figure 52-2

(Electrical continued)

**Comment 53:**

Incorrect three way switch installation is noted in the second floor hallway. This is potentially due to incorrect wiring installation. This light fixture should be able to turn on at either location. Have further assessed by an electrician for repairs.



Figure 53-1

Electrical panels cannot be in bathrooms, bedroom closets, or kitchen cabinets and they should have 40-inches of clearance in front and to each side. All electrical upgrades or repairs should be done by a qualified technician. Smoke Detectors not tested. Confirm last servicing/replacement date. Replace every 10 years.

Sub Panel

Location/Serving:	Basement And Laundry Room
Main Disconnect:	Main Disconnect at main distribution panel, Type - Breakers
Feed Cable:	Material - Copper, Material - Stranded/Braided Aluminum
Grounding:	Ground Wire - Copper, Ground Wire - Solid Aluminum, Connection at Panel
Main Disconnect On This Panel:	Type - Breakers, Capacity - 90 Amp
Distribution Panel:	Over current protection - breakers

(Sub Panel continued)

Circuit Wiring:

Grounded, Material - Copper, Non-metallic Sheathed cable



Comment 54:

Sub panel located in basement powered from the main panel.
90 amp disconnect with copper branch wiring.

Breakers need to be labelled to identify which circuits they operate.

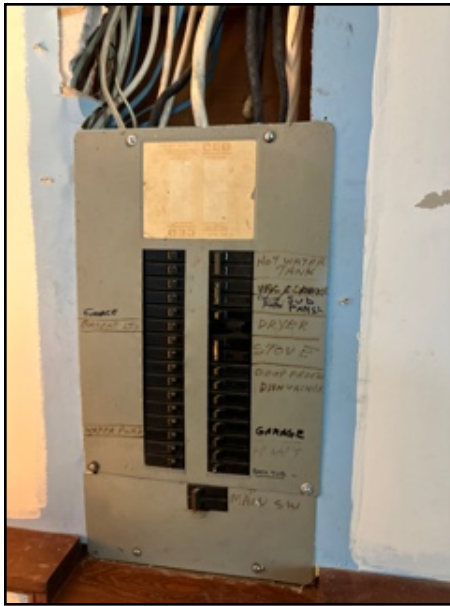


Figure 54-1



Figure 54-2



Comment 55:

Incorrect size wire observed for the 100 amp and 40 amp breaker in the basement sub panel. Further evaluation is needed by an electrician for repairs. This is a safety concern that needs repairs to prevent a fire hazard.

(Sub Panel continued)

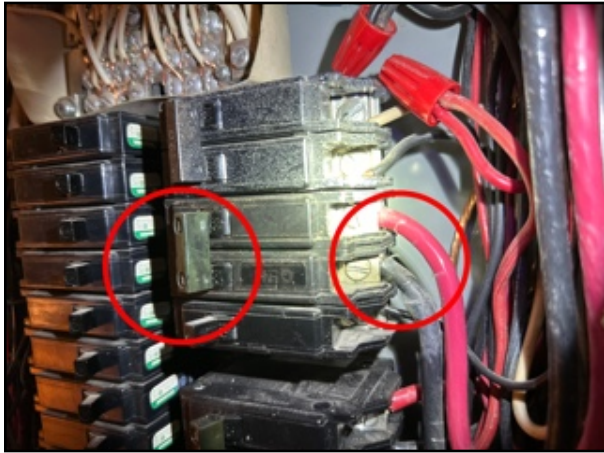


Figure 55-1

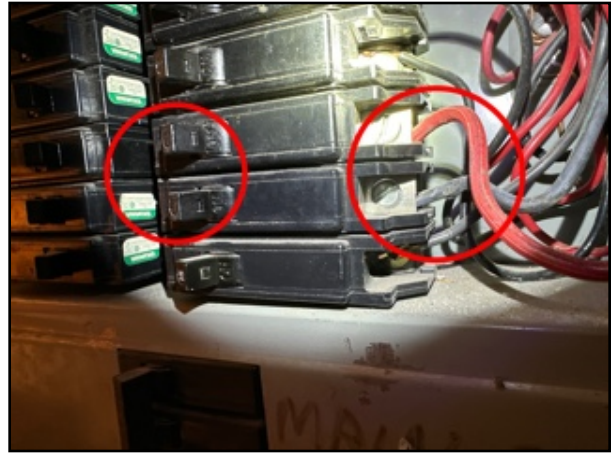


Figure 55-2



Comment 56:

Sub panel located in basement laundry room powered from basement sub panel. 100 amp disconnect with copper branch wiring.



Figure 56-1



Figure 56-2

(Sub Panel continued)



Figure 56-3

Plumbing

The plumbing system is inspected visually by operating a representative number of fixtures and drains. Private water and waste systems are beyond the scope of a visual home inspection. The inspector is limited to the visible portions of the plumbing system. Hidden piping in home cannot be observed or reviewed. The inspector cannot confirm compliance to any codes.

Location of Main Water Shutoff:	Possibly in garage
Supply Pipe Material:	Not visible
Interior Piping:	Material - Copper
Exterior Hose Bibs:	Exterior, Tested functional
Flow Rate:	Flow rate slow when testing multiple fixtures Condition: Further Evaluation Required
Waste Pipe Material:	ABS Plastic
Venting:	Material - ABS/Plastic, Appears to vent correctly to roof, Unable to fully view vent pipes to confirm correct installation
Floor Drains:	Not Visible

(Plumbing continued)



Comment 57:
Frost free hose bib observations.

Ensure to disconnect hose bibs during the winter time to prevent the possibility of freezing and potential damage to the tap.



Figure 57-1



Comment 58:
Septic and related equipment is not included with a home inspection. It is outside of our scope of practice and we are not licensed to do so. I recommend having it inspected by an accredited professional for defects.

Well pump system and all related equipment for the well and water testing are outside of the scope of this inspection. We recommend it be performed by a third-party company.

(Plumbing continued)



Figure 58-1



Comment 59:

Foul smell observed in the basement. I cannot confirm if this is due to an issue with the septic or sewer drainage. Further evaluation is needed by a plumber for troubleshooting and potential repairs.



Figure 59-1

(Plumbing continued)

**Comment 60:**

Basement kitchen sink drain sewage pump was working as intended. This is an unconventional installation that is vulnerable to potential flooding from user error or clogging.

I recommend replacing current installation with a stand alone sewage pump system with a built in float switch for automatic control. Ensure to install a pump alarm in case of a failure to prevent flooding. Have further assessed by a plumber for improvements.



Figure 60-1

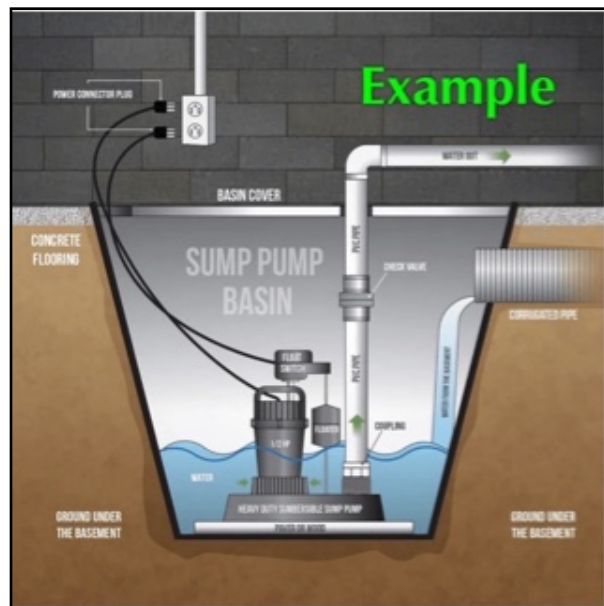


Figure 60-2

**Comment 61:**

Water pressure for the house at several locations are low. This could be due to a supply issue. Further evaluation is needed by a plumber for troubleshooting and repairs.

(Plumbing continued)

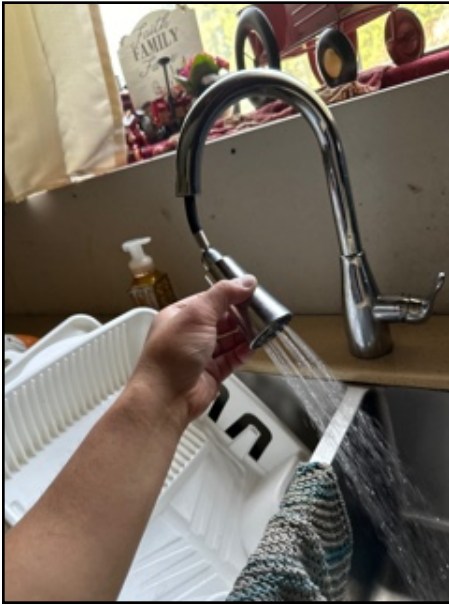


Figure 61-1



Figure 61-2



Figure 61-3

Determining the condition of underground water service, drain, and sewer lines is beyond the scope of this inspection.

(Plumbing continued)

Water Heater

Manufacturer:	Bradford White
Fuel:	Electric
Capacity:	76 gal
Approximate Age:	2021
Temp & Pressure Relief Valve:	Present but blow off leg is not positioned to discharge correctly (should go straight down to 6" from floor)
Details:	Add seismic straps, Vacuum breaker present, Cold water shutoff



Comment 62:

Water heater observations. Age 2021 (3 years old), average life span is around 10-12.



Figure 62-1



Figure 62-2

(Water Heater continued)

**Comment 63:**

Temperature pressure relief valve downspout is missing on this hot water heater. This downspout will prevent high temperature water from discharging horizontally in this area. It is recommended that they be installed on hot water heaters.



Figure 63-1

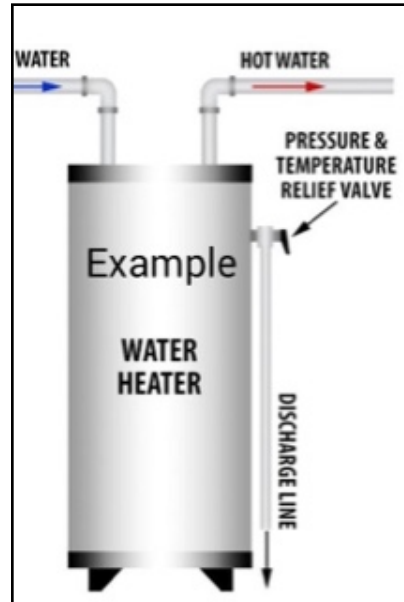


Figure 63-2

Structure

Only visible elements of the structure are inspected. The determination of adequacy of structural components is beyond the scope of a visual home inspection.

Foundation:	Type - Partial Basement, Material- Poured Concrete, Material - Partially Visible. Complete visual inspection limited, Moderate cracking.
Footings:	Footings are not covered by a visual home inspection.
Sill Plate And Foundation Bolts:	Not visible due to building finishes
Exterior Wall Construction:	Structural components fully/partially not visible. , Material - Wood Framing, Construction Type - Platform
Interior Support:	Structural Components Partially/Fully not Visible, Material - Wood
Floor Construction:	Floor components partially/fully not visible, Wood joists, Subfloor - Plywood

(Structure continued)

Ceilings: Structural components fully/partially not visible, Style - Flat



-  Comment 64:
Cold pour between the main house and garage addition should be sealed and patched to prevent water entry and damage. Improvements recommended.



Figure 64-1

-  Comment 65:
Cracks in concrete foundation can be a result of the concrete shrinking during the drying process. Although foundation wall shrinkage cracks are very common it is recommended that all cracks be repaired to prevent the possibility of water ingress.

This can be repaired by a concrete foundation repair contractor if desired to be proactive.

(Structure continued)



Figure 65-1



Figure 65-2



Figure 65-3



Figure 65-4

(Structure continued)

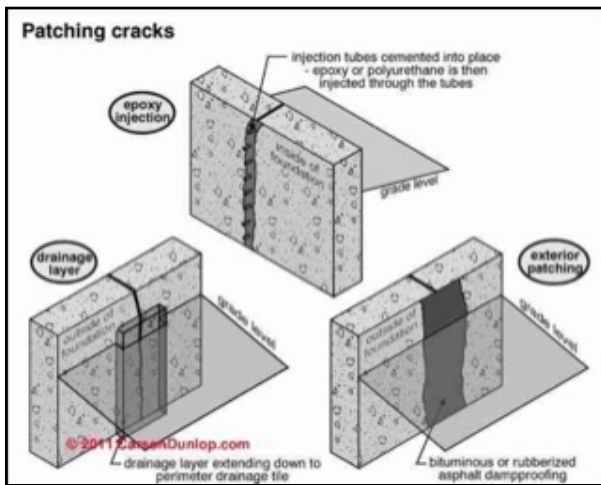


Figure 65-5

Attic

Attic Entry And Finish:

Access - Closet, Unable to enter attic space due to undersized and inaccessible hatch

Roof Structure:

Not visible

Roof Sheathing:

Not visible

Primary Insulation Material:

Not visible

Visible Insulation Levels:

Not visible

Vapour Barrier:

Not visible

Finish and Storage:

Finish - Area unfinished and unsuitable for occupant use

Mechanical And Electrical:

Not visible

Ventilation:

Not visible

Water/Moisure Evidence:

Not visible

(Attic continued)



Comment 66:

Attic hatch was undersized (12 inches of opening) and inaccessible due to the closet shelving blocking access. Due to this, the attic was not able to be entered.

I recommend improving the opening and removing shelving that is blocking the hatch for easier access. This is needed in order to inspect the condition of the attic space. This was a limitation to the inspection.

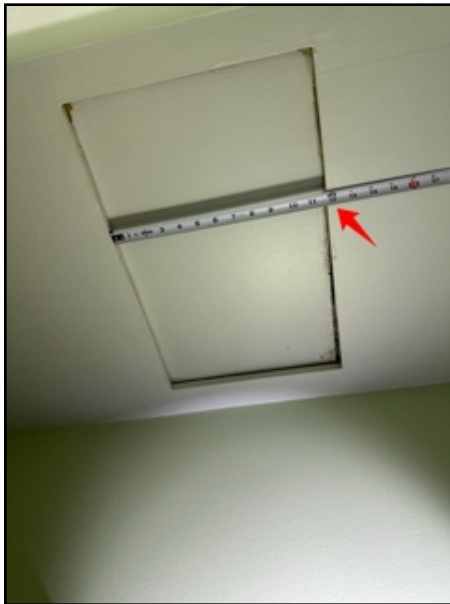


Figure 66-1

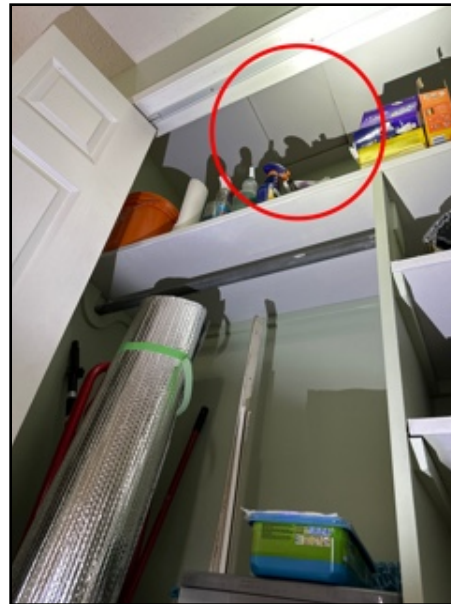


Figure 66-2



Comment 67:

Ceiling scans on second floor bathroom shows signs of missing or insufficient insulation. Consider repairs for thermal efficiency.

(Attic continued)



Figure 67-1

Recessed lights may not be approved for use with insulation. Inspectors cannot confirm compliance with fire codes.

Basement

General:	Area - Partial Basement, Finish - Fully Finished, Suite in basement, Area finish restricts view of structural elements
Floors:	Material - Concrete, Material - Interior finishing covers floor slab
Insulation:	Not visible
Moisture And Moisture Damage:	None observed

Limitations

(Limitations continued)

General Limitations:

Occupants belongings restrict view of exterior of home, Occupants belongings in basement or crawlspace restricts view of structural areas, Occupants belongings under bathroom sink(s) restricts views of pipes and drains, Occupants belongings under kitchen sink(s) restricts views or pipes and drains, Occupants belongings in closets restricts views of closet interiors, Occupants belongings in garage or carport restrict inspectors view of garage interior



Comment 68:
Exterior observations.



Figure 68-1



Figure 68-2

(Limitations continued)



Figure 68-3



Figure 68-4



Comment 69:
Interior observations.



Figure 69-1